

Oadby and Wigston Borough Council

Development Control Committee
20 May 2021



Oadby & Wigston
BOROUGH COUNCIL

Central Government Policy Advice:

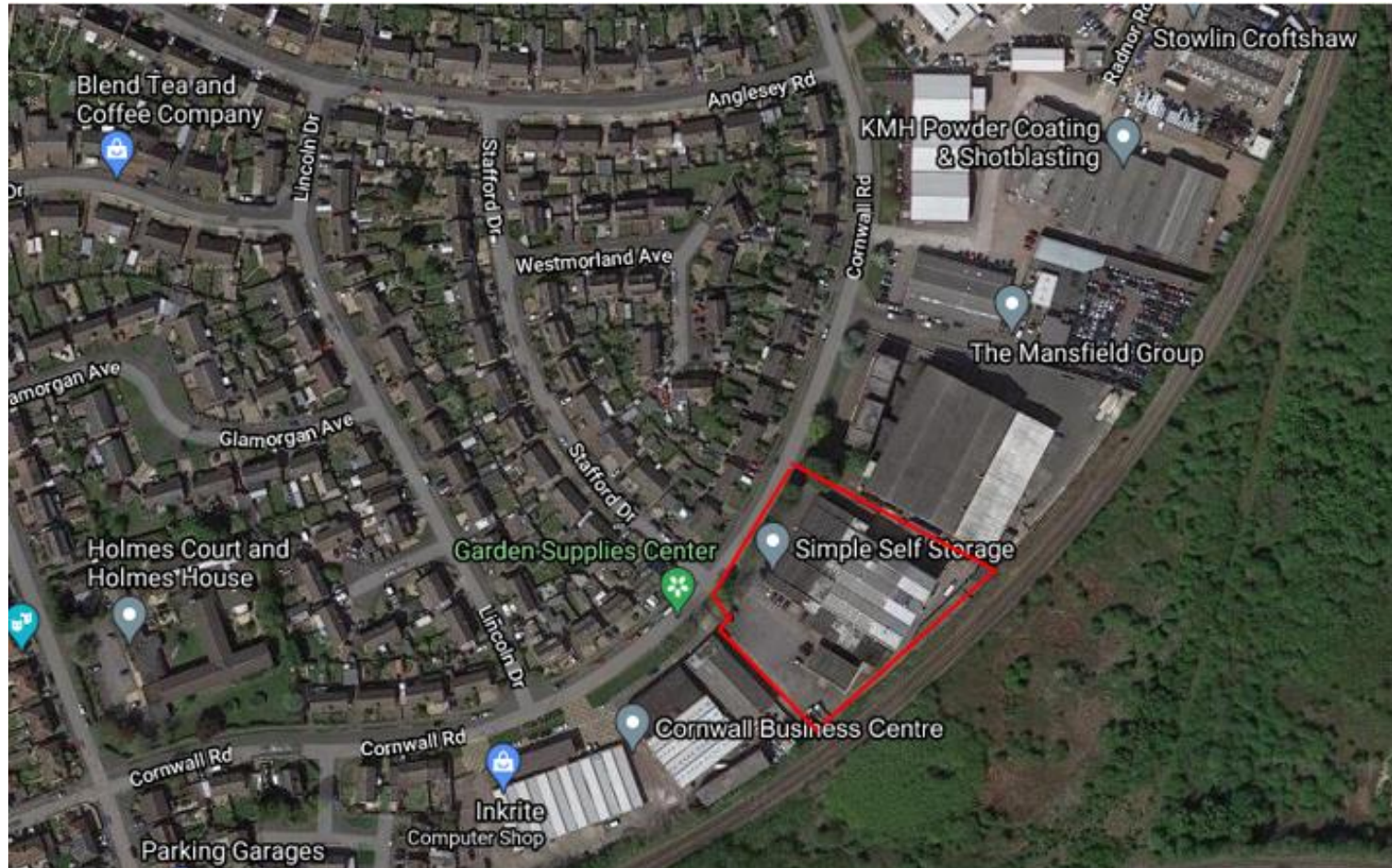
- **“What is a material planning consideration?”**
- A material planning consideration is one which is relevant to making the planning decision in question (e.g. whether to grant or refuse an application for planning permission).
- The scope of what can constitute a material consideration is very wide and so the courts often do not indicate what cannot be a material consideration. However, in general they have taken the view that **planning is concerned with land use in the public interest, so that the protection of purely private interests such as the impact of a development on the value of a neighbouring property or loss of private rights to light could not be material considerations”**.

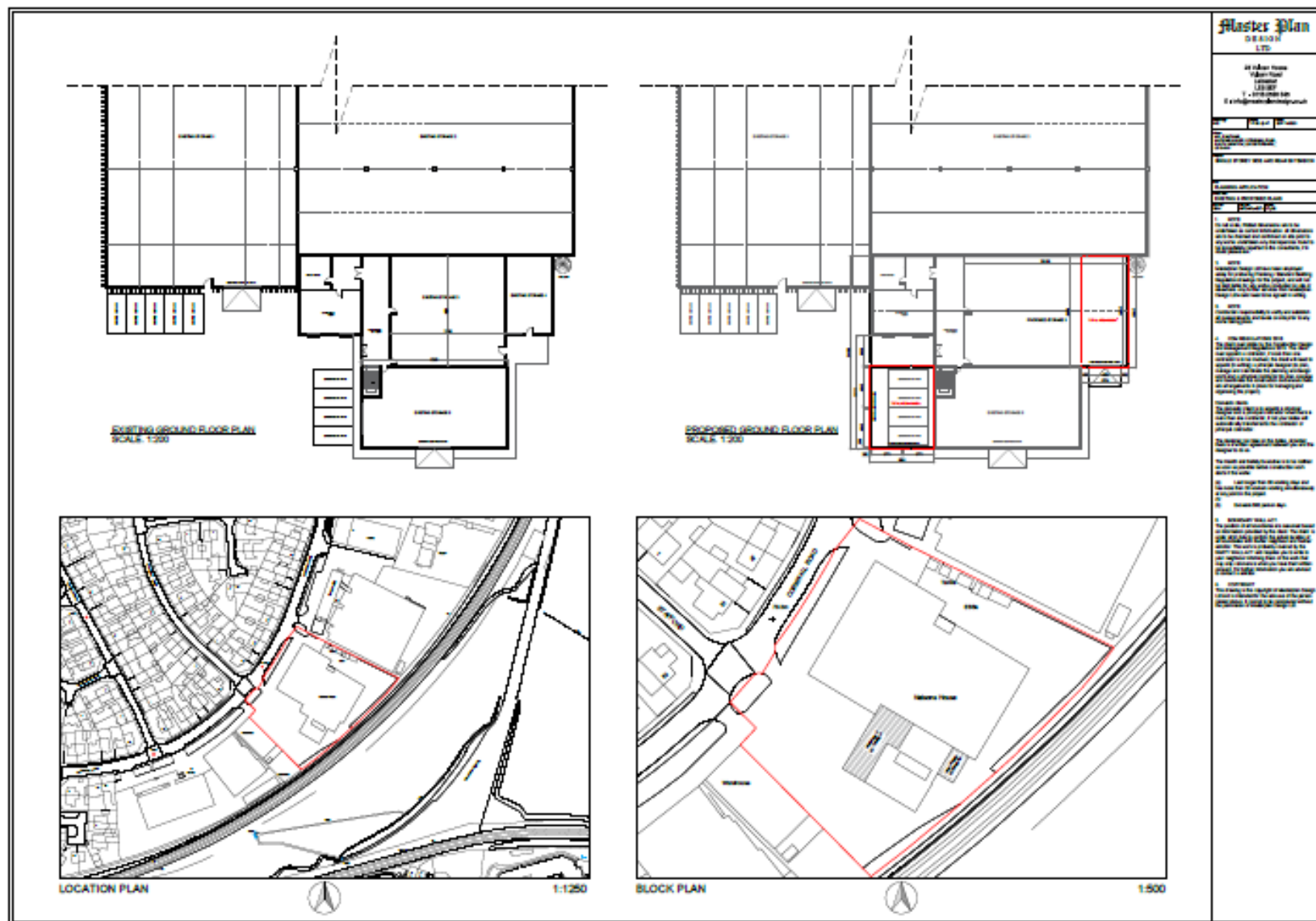


Application No. 20/00530/FUL

Natsons House
Cornwall Road
Wigston
Leicestershire
LE18 4XH







Application No. 21/00059/FUL

107 Harborough Road
Oadby
Leicestershire
LE2 4LG



Location Plan



Location Plan Existing 1:1250

Copyright designers & planners act
1288.
printed dimensions only are to be
taken as current information.
All dimensions are to be checked
and confirmed on site prior to any
work being undertaken.

Brook House Consulting

BHC

72 Station Road
Lancaster
LA1 1TB

Tel: 01524 641616

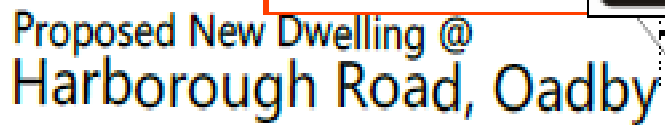
Project

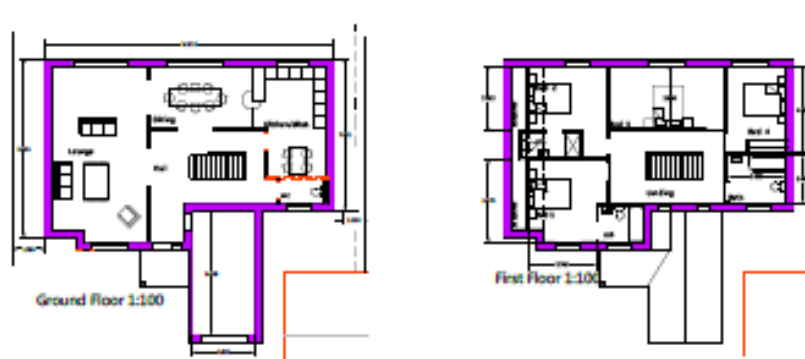
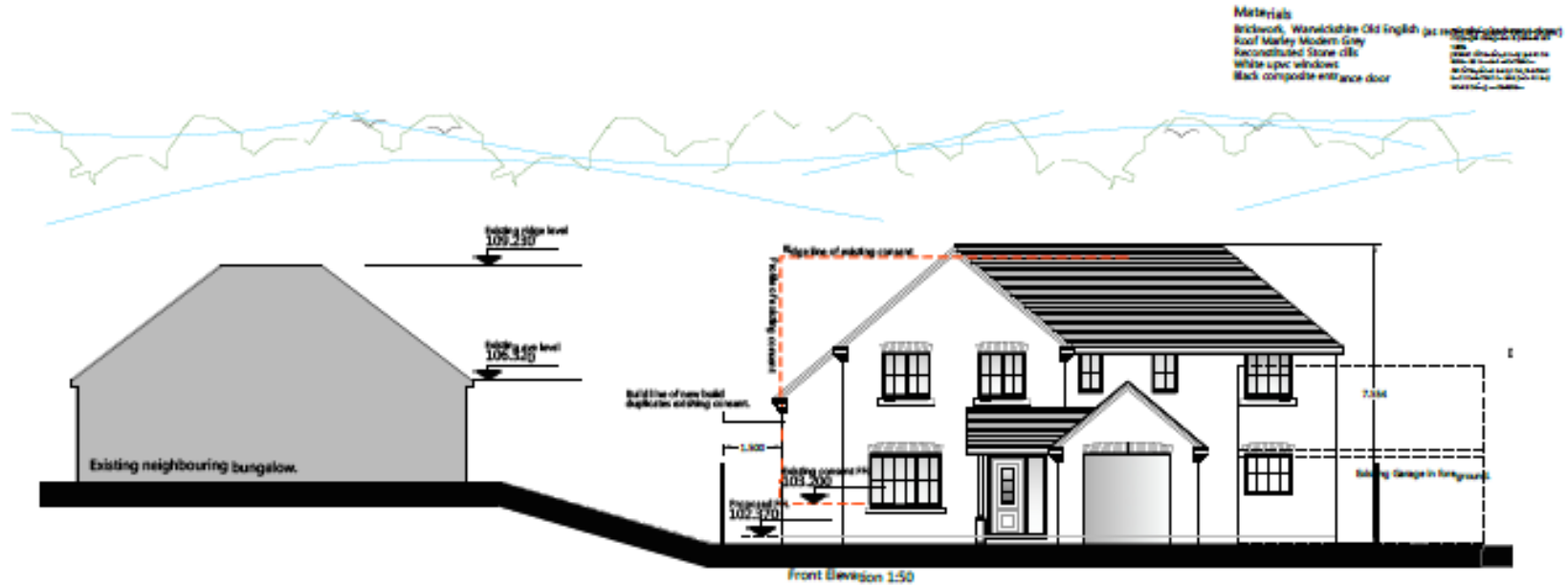
Herborough Road
Oadby

Scale

Location Plan







Brook House Consulting
 100% 100% 100%

Brook House Consulting

BHC

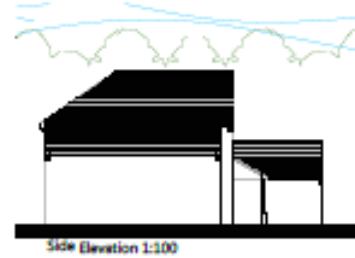
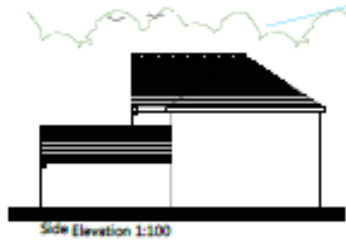
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Harborough Road
 Gedby

Plans & Elevations As Proposed

Scale	1:100	1:50
Sheet	100	D
Project		

Proposed New Dwelling @
 Harborough Road, Oadby



- **irregularly shaped** as opposed to
- **neighbouring part** which is otherwise **strongly linear shaped**

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[Home](#)

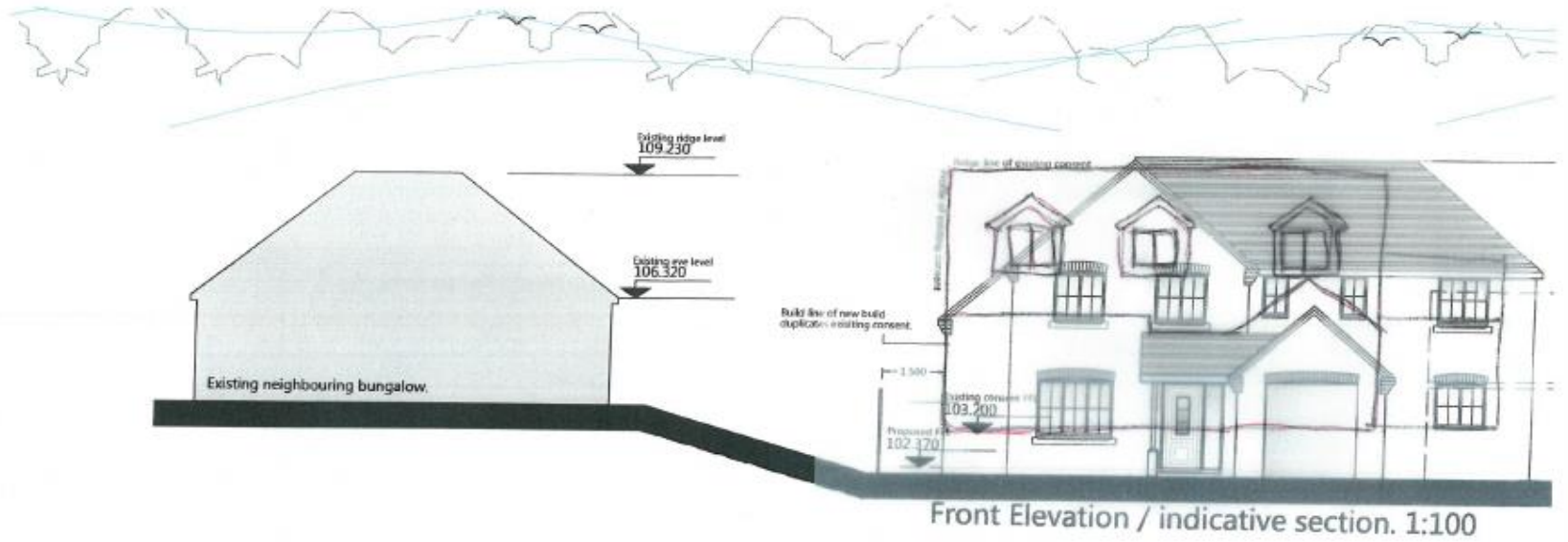
Brook House Consulting

BHC

17/04/2019
 18/04/2019
 19/04/2019

Harborough Road
Gedby

Planes & Elevations As Proposed







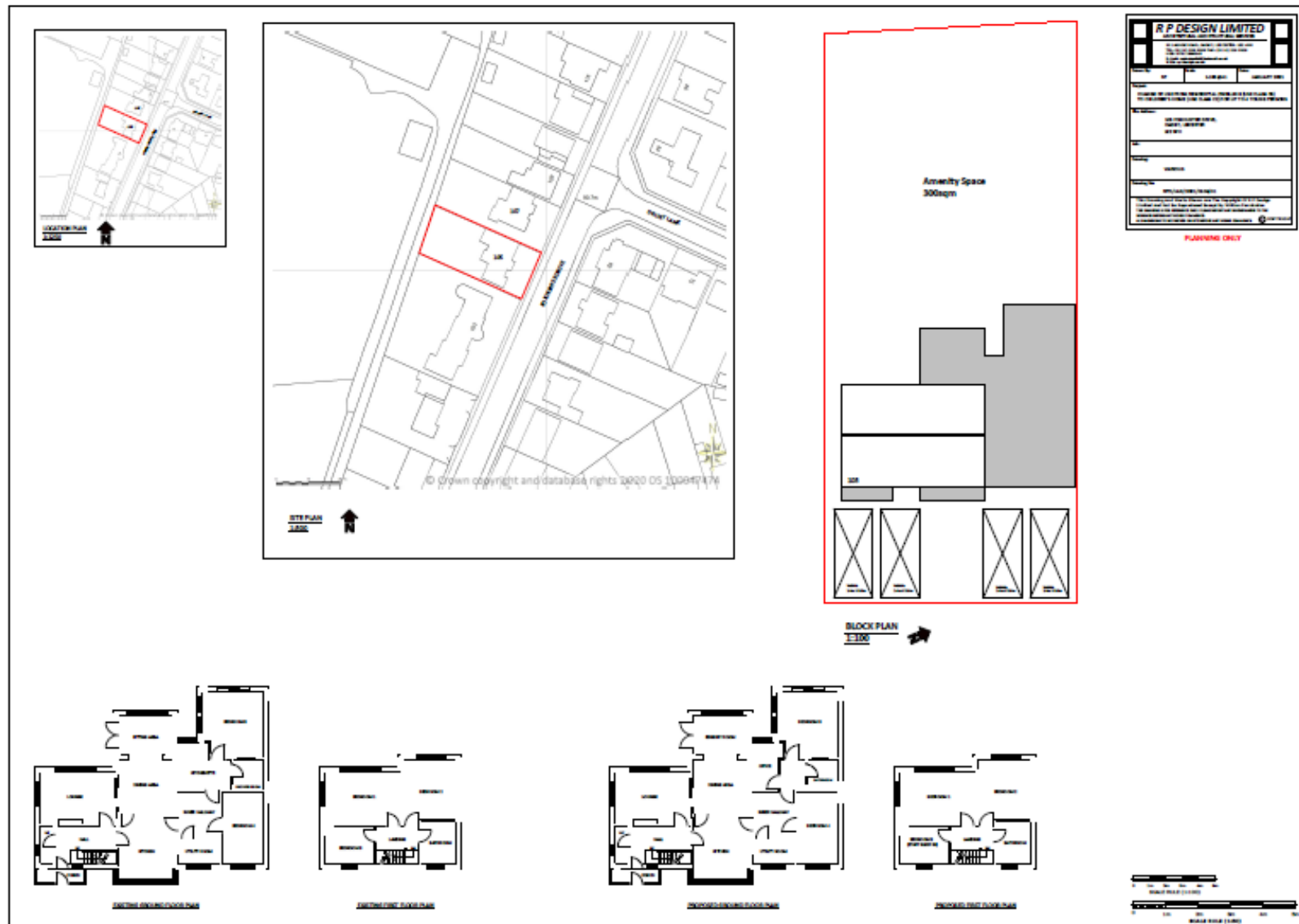


Application No. 21/00077/FUL

105 Foxhunter Drive,
Oadby
Leicestershire
LE2 5FH









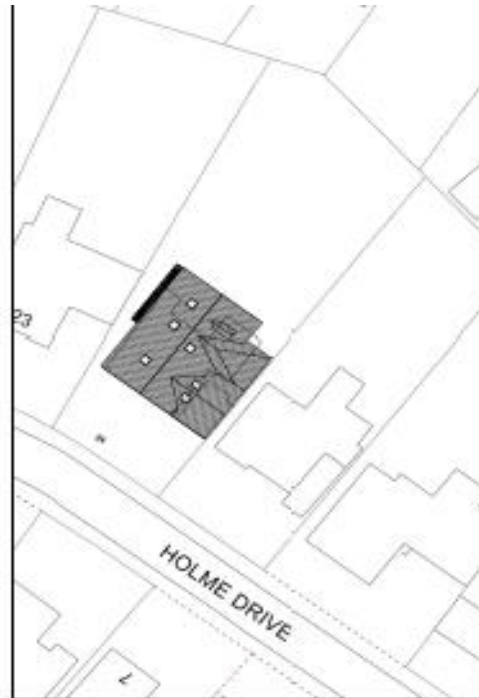
Application No. 21/00090/FUL

24 Holme Drive
Oadby
Leicestershire
LE2 4HF





Location Plan
Scale 1:1250



Site Plan
Scale 1:500

General Notes:

Do not scale from these drawings. The Contractor is responsible for checking all dimensions, levels and corner point levels as indicated on the site plan to confirm the accuracy of the works with any survey being required to T/J Architectural as such as possible.

All construction work must be carried out in accordance with all necessary permits and conditions as shown on the site plan.

Construction is to be carried out in accordance with the relevant British Standards Specification, Building Regulations and other relevant standards as specified on the site plan.

All building work to be carried out in accordance with the Local Authority Building Regulations and in accordance with the relevant Building Regulations and as such as possible.

This drawing is not intended to show details of construction, ground conditions or ground water levels. The existing ground is shown as indicated on the site plan and the proposed works are shown as indicated on the site plan. The Contractor is responsible for checking the accuracy of the site plan and for any necessary survey work.

The Contractor shall ensure all building work is carried out in accordance with the relevant standards and specifications and shall ensure that the works are carried out in accordance with the relevant standards and specifications.

The Contractor shall be responsible for the safety, security and quality of the building work and shall ensure that the works are carried out in accordance with the relevant standards and specifications.

Drawings are provided for the purpose of building Regulations and other relevant standards and shall not be used for any other purpose without the written consent of T/J Architectural.

All drawings are the copyright of T/J Architectural. This drawing may not be copied or used for any other purpose without the written consent of T/J Architectural.

The drawing is provided for the purpose of building Regulations and other relevant standards and shall not be used for any other purpose without the written consent of T/J Architectural.

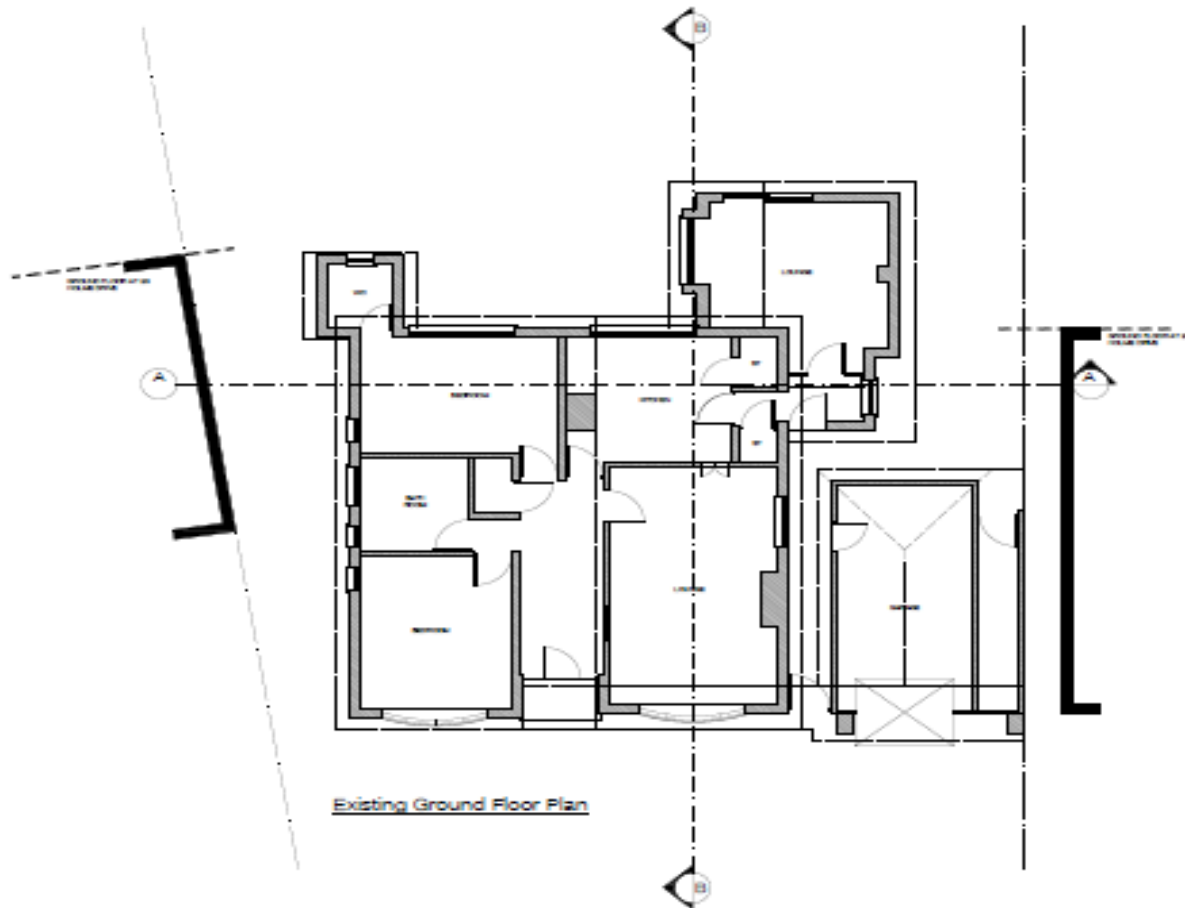
When T/J Architectural provides a drawing, it is provided for the purpose of building Regulations and other relevant standards and shall not be used for any other purpose without the written consent of T/J Architectural.

Please be aware that this drawing is provided for the purpose of building Regulations and other relevant standards and shall not be used for any other purpose without the written consent of T/J Architectural.

GENERAL NOTES

The purpose of all drawings is to provide a clear and concise representation of the proposed works. The drawings are provided for the purpose of building Regulations and other relevant standards and shall not be used for any other purpose without the written consent of T/J Architectural.

REV B	Revised drawing	23.03.21
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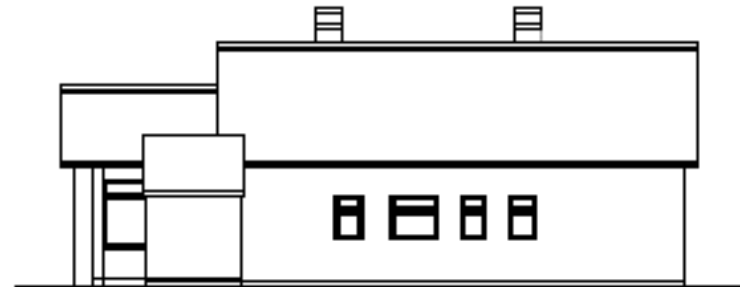
Existing Front Elevation
Shawn Green Architects



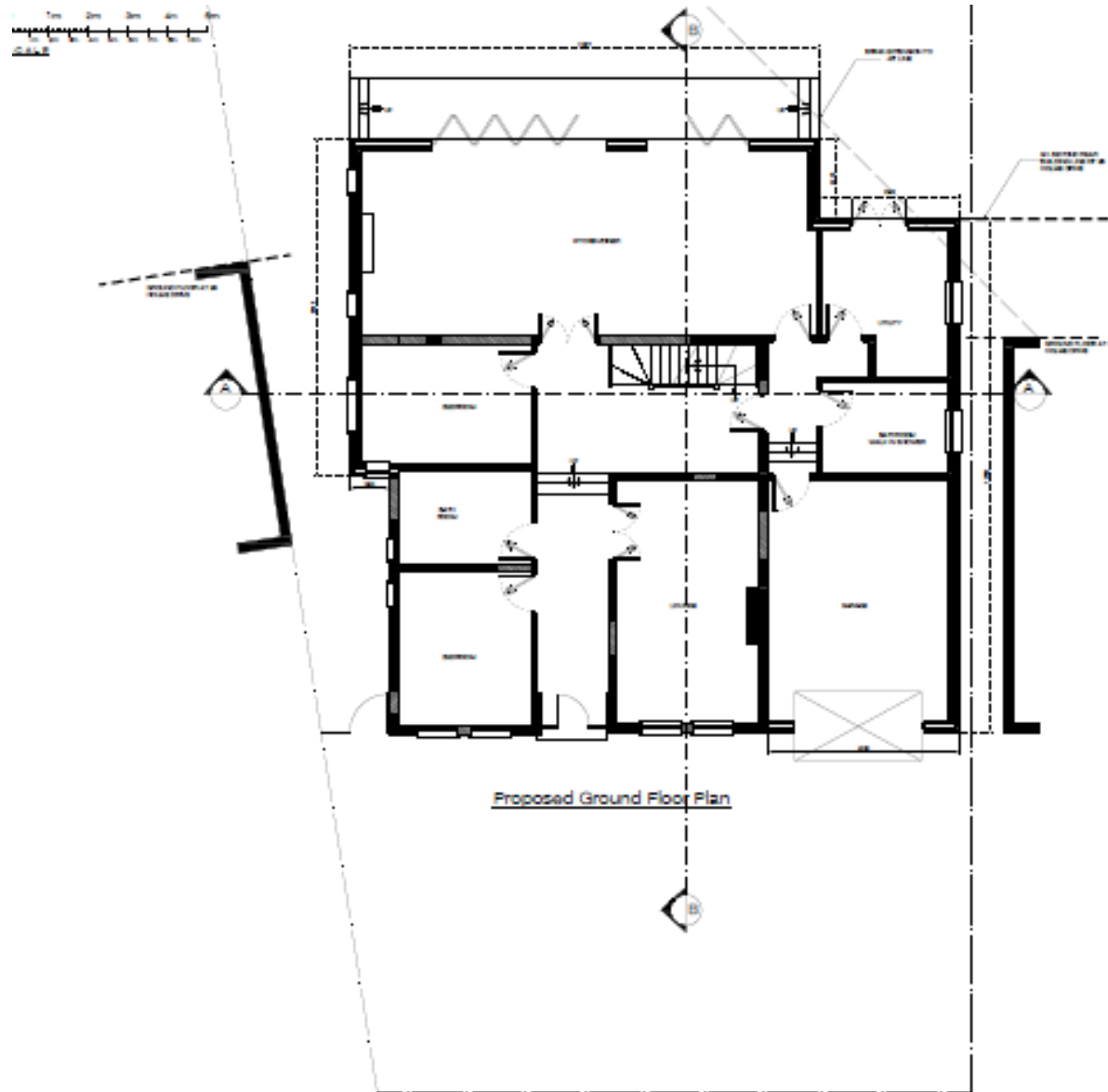
Existing Side Elevation
Shawn Green Architects

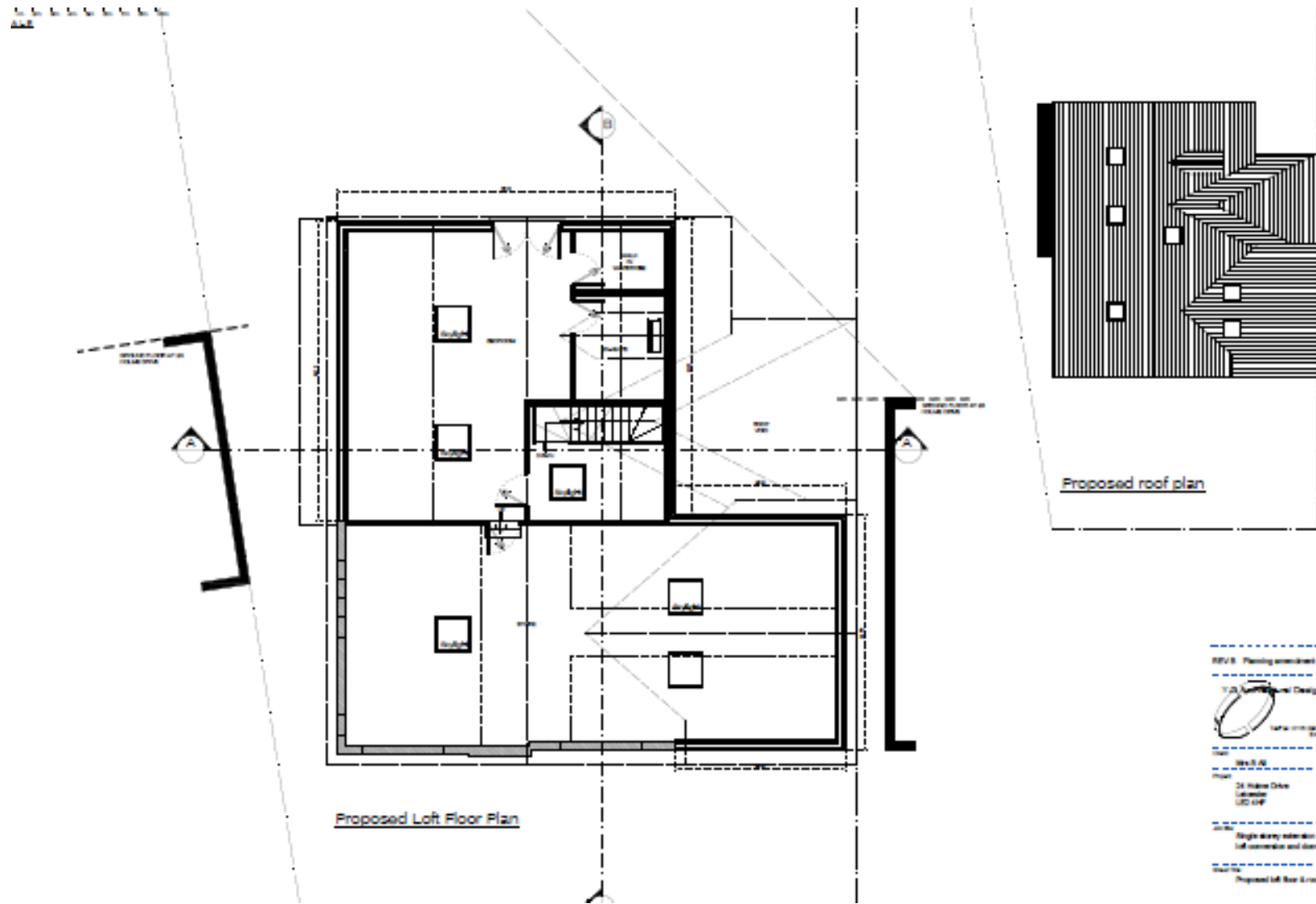


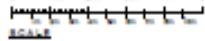
Existing Rear Elevation
Shawn Green Architects



Existing Side Elevation
Shawn Green Architects







ROOF TILES: To match existing grey tiles

WALLS: Render

WINDOWS: White UPVC sash windows



Proposed Front Elevation
(South West Facade)



Proposed Slide Elevation
(North West Face)



Proposed Side Elevation
(North West Facade)



Proposed Rear Elevation
(North East Facade)

RPV B. Planning completed 23.03.21



Y.D. Architectural Design Consultants Ltd.
105 Mountain Road
Toronto
M5S 1A5
Tel: 416-922-8888 Fax: 416-922-8889
E-mail: yd@architects.com

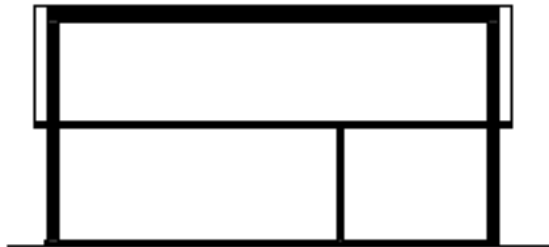
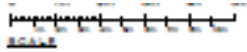
Client: Mrs. B. M.
Project: 24, Holmes Drive
Lakewood
LTC 649

Single story extension to side and rear with
half conversion and dormer extensions.

Proposed revisions

Job No.	Exp. No.	Year	Name	Grade
NAAPC	06	8	1-100	YD
0.00				





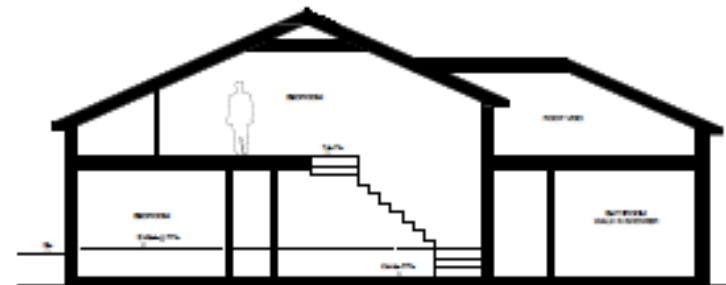
Existing Section B-B



Existing Section A-A



Proposed Section B-B



Proposed Section A-A





ROOF TILES: To match
existing grey tiles

WALLS: Render

WINDOWS: White UPVC sash
windows



Proposed Front Elevation
(South West Facade)



Proposed Side Elevation
(North West Facade)



Proposed Side Elevation
(North West Facade)



Proposed Rear Elevation
(North East Facade)

REV B Planning amendment

Y.G. Architectural Design Centre

Tel: 0115 9411111 Fax: 0115 9411112

Email: ygc@ygc.co.uk

Client: Mrs S. Ali

Project: 34 Hedon Drive

Leicester LE2 4HF

Drawn: Proposed elevations

Scale: 1:100

Date: 10/10/18

Drawn: Proposed elevations

Scale: 1:100

Date: 10/10/18

Drawn: Proposed elevations

Scale: 1:100

Date: 10/10/18

Drawn: Proposed elevations

Scale: 1:100

Date: 10/10/18

Drawn: Proposed elevations

Scale: 1:100

Date: 10/10/18

Drawn: Proposed elevations

Scale: 1:100

Date: 10/10/18

Drawn: Proposed elevations

Scale: 1:100

Date: 10/10/18









Application No. 21/00097/FUL

**Gartree High School
Ridge Way
Oadby
Leicestershire
LE2 5FH**



